

DRAWING REGISTER

DWG No	Description	Rev	Rev Date	Description
A01	Site Plan	A	22 Dec 2021	Soakpit revised
A02	Foundation Plan	A	02 Nov 2021	Foundation rebated revised
A03	Plumbing & Drainage			
A04	Floor Plan			
A05	Bracing Plan	C	24 May 2022	EPBG replaced with EPB1, Bracing calc revised GS1 replaced w...
A06	Bracing Details	C	24 May 2022	Bracing calculations updated, Detail revised Bracing calculations...
A07	Electrical Plan			
A08	Lighting Plan			
A09	Roof Plan			
A10	Elevations	A	02 Nov 2021	Wall underlay changed
A11	Sections	B	17 May 2022	GIB Standard replaced with BORAL Sheetrock Notes revised
A12	Finishes Plan			
A13	Details	A	17 May 2022	Notes revised Details revised
A14	Details	B	17 May 2022	Notes revised
A15	Details			
A16	Schedules			
A17	Bracing Details	A	24 May 2022	Details omitted New sheet

PROJECT INFORMATION

Territorial Authority: Ashburton District Council

Building Consent Number: BC0777

Legal Description: Lot 208 DP

Ashburton District Plan

Zone: Residential C

Wind Region	: A	Wind Zone	: VH
Ground Roughness	: O	Corrosion Zone	: C
Site Exposure	: E	Earthquake Zone	: 2
Topographic Class	: T1	Climate Zone	: 3
Subsoil Classification:	E	Approx. Altitude	: 310m
Snow Zone	: N4	Snow Loading	: 2kPa

KEY

Urban / Open · Sheltered / Exposed · Low / Medium / High / Very High / Extra High / Specific Engineer Design
Subsoil Classification Classes
A-Strong Rock · B-Rock · C-Shallow · D-Deep/Soft · E-Very Soft

G.J. Gardner. HOMES

New Zealand's favourite home builders.

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

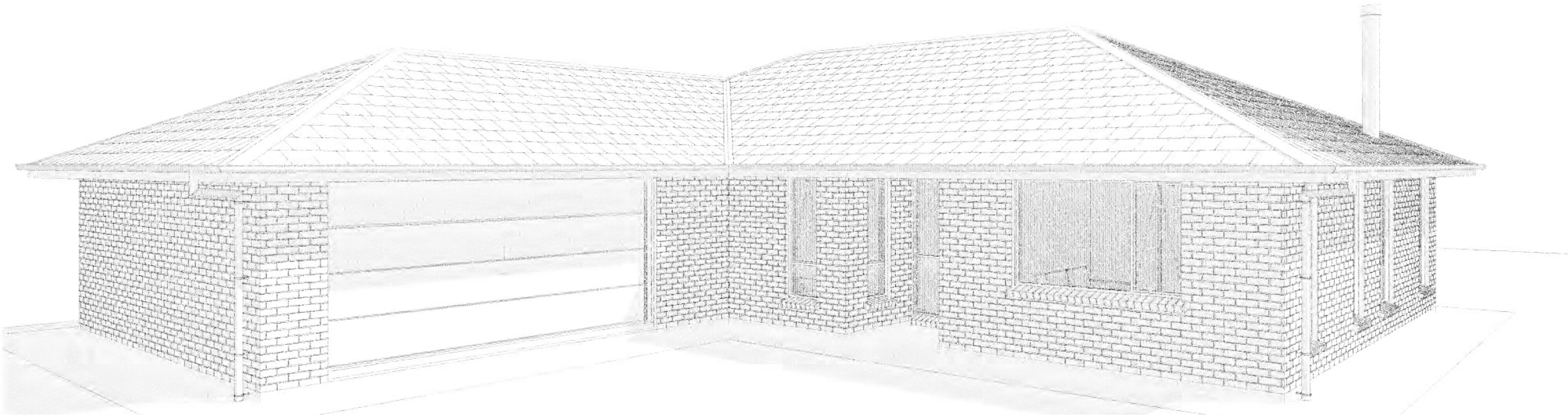
All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents , and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

BUILDING
CONSENT

Ashburton District Council
Approved Variation
BC0777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.



Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

Sheet Index

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 24 May 2022

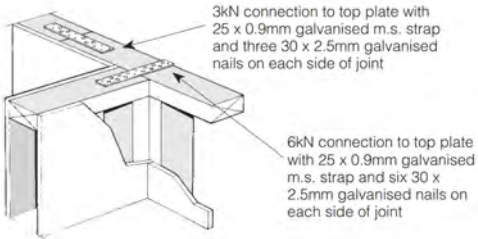
G.J. Gardner. HOMES

REVISION NO.
D

TOP PLATE CONNECTIONS

The top plate of a wall that contains one or more wall bracing elements shall be jointed according to the rating of the highest-rated individual wall bracing element as follows:

- (a) Rating not exceeding 100 bracing units: A 3kN connection as shown or by an alternative fixing of 3kN capacity in tension or compression along the plate;
- (b) Rating exceeding 100 bracing units: A 6kN connection as shown or by an alternative fixing of 6kN capacity in tension or compression along the plate.

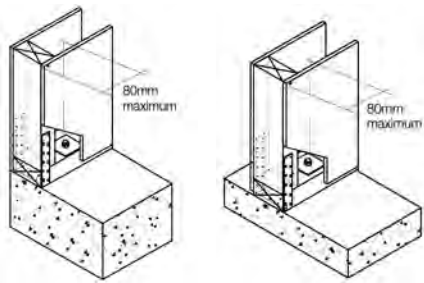


Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:

- (a) For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing as shown of 6 kN capacity;
- (b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings as shown each of 6 kN capacity;
- (c) For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown each having a rating of not less than 2.4 kN per 100 bracing units.

BRACING NOTES:

- 1. Contractor to ensure all penetrations to bracing units are in accordance with specific manufacturer's requirements.
- 2. Use LUMBERLOK Framing Stud Stiffener where holes are drilled for plumbing in 90x45mm studs in braced walls to replace the strength of the studs.
- 3. Internal walls connected to external walls with 140x35 H1.2 SG8 top plate with fixing capacity of 6kN where indicated: ⊕ ----- ⊕ Where possible, use bottom chord of truss.
- 4. Use 10mm GIB Aqualine where GS1-N bracing is specified in bathrooms, WCs, laundry and kitchen spaces.

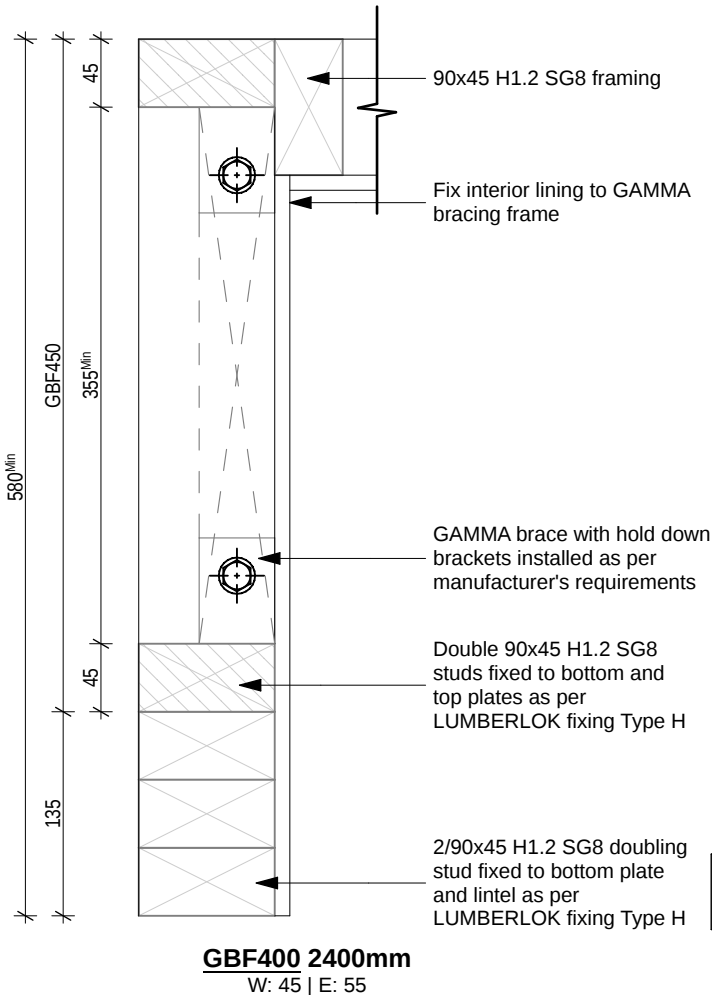


External Walls Internal Walls

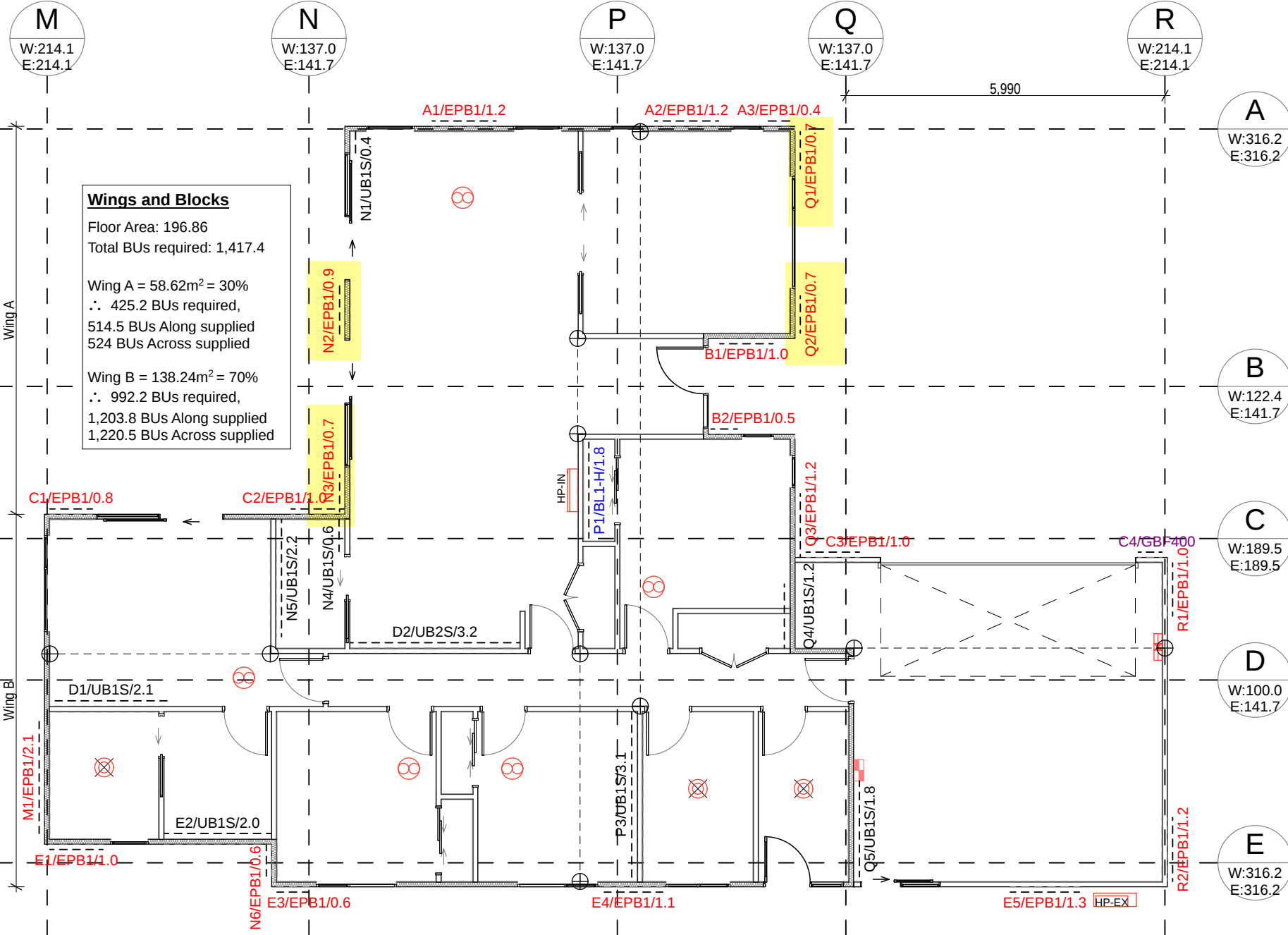
Bracing Straps

External walls	Internal walls
Position GIB HandiBrac® as close as practicable to the internal edge of the bottom plate.	Position GIB HandiBrac® at the stud/plate junction and at mid-width of plate.
Hold-down fastener requirements A mechanical fastening with a minimum characteristic uplift capacity of 15kN or use supplied BT10/140 screwbolt in GIB HandiBrac® pack.	

GIB HandiBrac
DETAIL | Panel Hold-down



01 DETAIL | Gamma Bracing
SCALE 1:5 (A3)



BRACING PLAN
SCALE 1:100 (A3)

G.J. Gardner. HOMES

New Zealand's favourite home builders.

JNF Construction Ltd

Christchurch South Franchise for

G.J. Gardner Homes

811 Main South Road, Templeton, 8042

PO Box 42067, Tower Junction 8149

P 03 348 0516 / 03 341 5480

F 03 348 0517

www.gjgardner.co.nz

All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents , and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

BUILDING
CONSENT

Ashburton District Council

Approved Variation

200777/21.01

26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

Bracing Plan

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 24 May 2022

G.J. Gardner. HOMES

A05

REVISION NO.
C

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

All Construction to comply with Local
Authority requirements, NZ Building Code/
Approved Documents , and Means of
Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked
by contractor before commencement of
work. Contractor to report any discrepancy.

BUILDING
CONSENT

Ashburton District Council
Approved Variation
810777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the
property of G.J. Gardner Homes and is
provided for the use described above and
may not be used or reproduced in whole or
in part without written permission

Bracing Details

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 24 May 2022

A06

G.J. Gardner. HOMES

REVISION NO.
C

BRACING CALCULATIONS

TABLE: Default

Location of Storey	Single
Room in Roof Space	No
Building Width (BW)	14.3m
Building Length (BL)	21.1m
Gross Floor Area (GFA)	196.86m ²
Floor Height to Apex	5m
Roof Height Above Eaves	2m
Roof Pitch	0 - 25°
Roof Style	Hip
Double Top Plate	Yes
Floor Load	2kPa
Cladding Weights:	
- Subfloor	Concrete Floor
- Wall	Heavy
- Roof	Light
Wind Zone	Very High
Earthquake Zone	2
Soil Class	E - Very Soft
W along	65.0BU/m
W along x BW	927.6BU
W across	65.0BU/m
W across x BL	1,370.2BU
EQ	7.2BU/m ²
EQ x GFA	1,417.4BU

BRACING ALONG

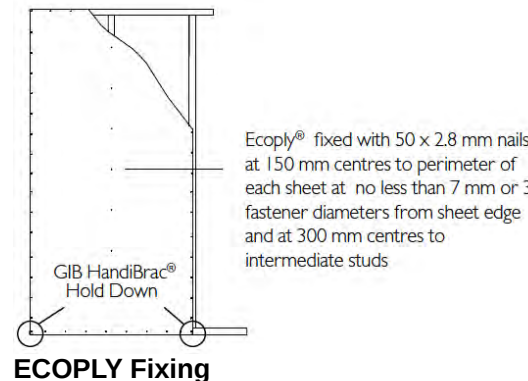
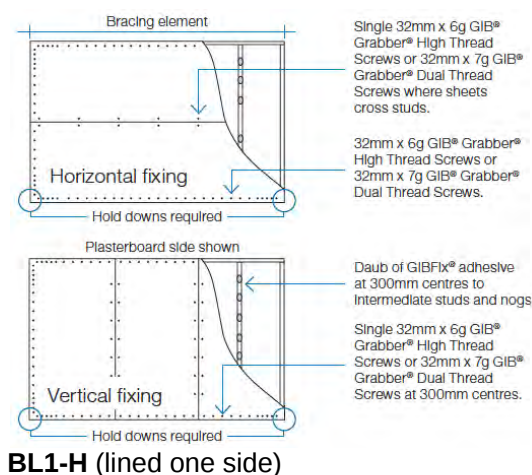
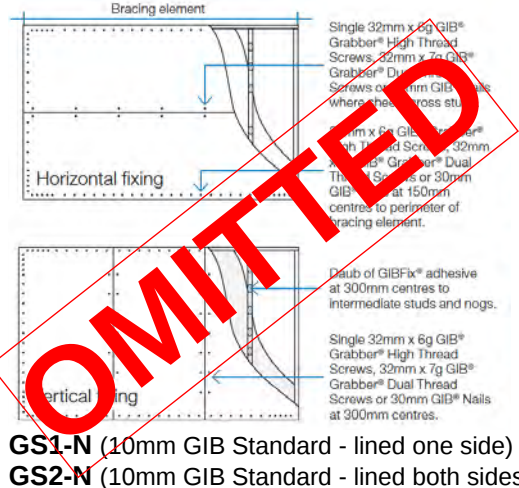
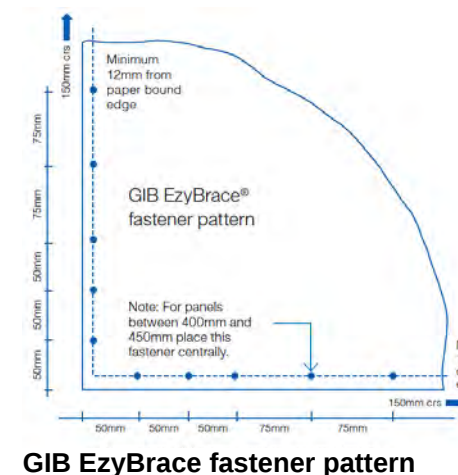
Required		Provided		Achieved	
Line	W BU	EQ BU	Brace Type	W BU/m	EQ BU/m
A	316.2	316.2	A-1 EPB1	120.0	135.0
			A-2 EPB1	120.0	135.0
			A-3 EPB1	80.0	95.0
				320.0	362.0
B	122.4	141.7	B-1 EPB1	95.0	105.0
			B-2 EPB1	80.0	95.0
				135.0	152.5
C	189.5	189.5	C-1 EPB1	95.0	105.0
			C-2 EPB1	95.0	105.0
			C-3 EPB1	95.0	105.0
			C-4 GBF400	-	-
				311.0	349.0
D	100.0	141.7	D-1 UB1S	55.0	50.0
			D-2 UB2S	65.0	60.0
				115.5	105.0
				206.7	190.8
				322.2	295.8
E	316.2	316.2	E-1 EPB1	95.0	105.0
			E-2 UB1S	55.0	50.0
			E-3 EPB1	95.0	105.0
			E-4 EPB1	95.0	105.0
			E-5 EPB1	120.0	135.0
				522.5	559.0
Total				1,610.7	1,718.3
				927.6	1,417.4

BRACING ACROSS

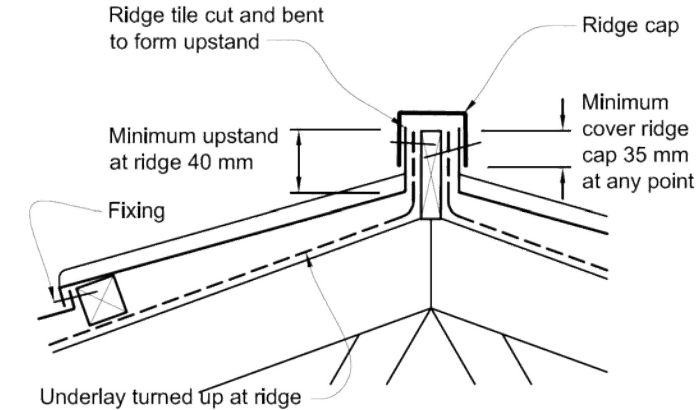
Required		Provided		Achieved	
Line	W BU	EQ BU	Brace Type	W BU/m	EQ BU/m
M	214.1	214.1	M-1 EPB1	120.0	135.0
				252.0	283.5
				252.0	283.5
N	137.0	141.7	N-1 UB1S	55.0	50.0
			N-2 EPB1	95.0	105.0
			N-3 EPB1	95.0	105.0
			N-4 UB1S	55.0	50.0
			N-5 UB1S	55.0	50.0
			N-6 EPB1	95.0	105.0
				385.0	391.0
P	137.0	141.7	P-1 BL1-H	125.0	105.0
			P-3 UB1S	55.0	50.0
				225.0	189.0
				170.5	155.0
				395.5	344.0
Q	137.0	141.7	Q-1 EPB1	95.0	105.0
			Q-2 EPB1	95.0	105.0
			Q-3 EPB1	120.0	135.0
			Q-4 UB1S	55.0	50.0
			Q-5 UB1S	55.0	50.0
				442.0	459.0
R	214.1	214.1	R-1 EPB1	95.0	105.0
			R-2 EPB1	120.0	135.0
				95.0	105.0
				144.0	162.0
				239.0	267.0
Total				1,713.5	1,744.5
				1,370.2	1,417.4

Calculations based on
NZS3604:2011

BRACING CALCULATIONS

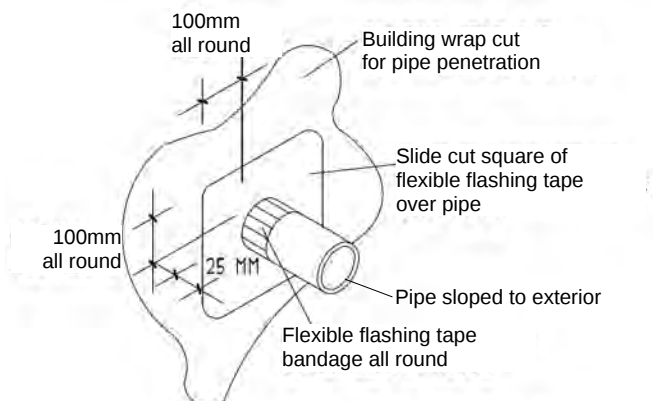


DETAIL | Bracing Fixing

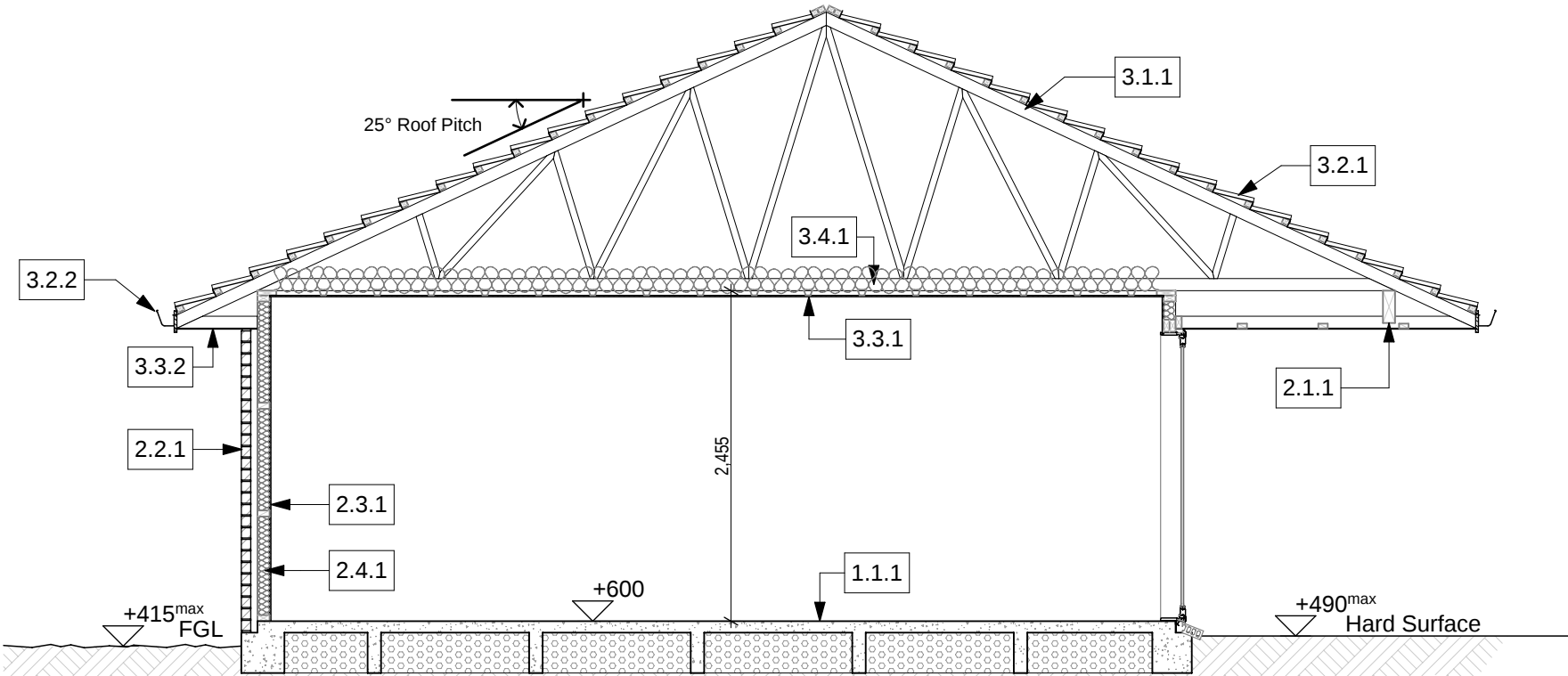


DETAIL | Typical Ridge

NOTE: Flexible sealant to be applied between the pipe and the perimeter of the hole through the cladding as per the respective cladding manufacturer's requirements.



DETAIL | Typical Pipe Penetration



SECTION AA
SCALE 1:50 (A3)

CONSTRUCTION MOISTURE

- The maximum moisture contents shall be:
- For timber framing at the time of installing interior linings, the maximum acceptable moisture content shall be 20%,
 - For timber weatherboards and exterior joinery, 20% at the time of painting,
 - For reconstituted wood products, 18% at all times, and
 - For concrete floors, sufficiently dry to give a relative humidity reading of less than 75% at the time of laying fixed floor coverings.

CONSTRUCTION NOTES

Details take precedent over other working drawings; any discrepancies to be raised with GJ Gardner Homes Christchurch South.

All materials must be installed in accordance with manufacturer's requirements.

1.1.1 Super Slab floor system on 250mu polyethylene DPM, on 20mm sand blinding as per Engineer's details and specifications.

2.1.1 240x90 H1.2 SG8 lintel beam fixed as per LUMBERLOK fixing type G.

2.2.1 70 Series brick veneer with drained cavity on ECOPLY 'Barrier' rigid air barrier on 90x45 H1.2 SG8 framing, studs at 400crs.

2.3.1 Use 10mm GIB Aqualine to wet areas (with impervious joints) and 10mm GIB Braceline where indicated on the Bracing Plan. 10mm BORAL Sheetrock to be used to all other internal walls. All walls stopped to Level 4 finish.

2.4.1 R2.6 Wall batt insulation to all external walls except Garage (where batts are installed to internal walls separating the Garage from the rest of the dwelling).

3.1.1 H1.2 GANGNAIL trusses fixed with Ceiling Ties and multi-grips in accordance with Truss producer statement & layout.

3.2.1 Pressed metal tiles on 50x40 H1.2 battens at 370crs over THERMAKRAFT Covertex 401 Synthetic self supporting over 70x45 H1.2 SG8 purlins (fixed with 1/10g self-drilling screw, 80mm long) at 900crs over trusses at 900crs.

3.2.2 COLORSTEEL fascia with DIMOND Quad SI rainwater system fitted with snow straps. Minimum 50mm overhang of roofing bent down at edge.

3.3.1 10mm Boral Sheetrock ceiling board to ceilings throughout (with impervious joints to wet areas) on Boral Sheetrock ceiling batten system at 400crs shot-fixed to underside of trusses. All ceilings stopped to Level 4 finish.

3.3.2 4.5mm JAMES HARDIE Hardiflex sheet lining to eaves, fixed to eaves bearer and ribbon plates as per manufacturer's requirements.

3.4.1 R3.6 Ceiling batt insulation to ceilings throughout, except Garage.

NOTES

- All footings and slabs and related concrete and steelwork as per Engineer's details and requirements.
- All joist hangers, wire dogs, bolts, washers, nails, screws and all other fixings to be galvanised, hot dipped. Except that stainless steel fixings and fastenings to be installed when using CCA treated timber.

G.J. Gardner. HOMES

New Zealand's favourite home builders.

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents, and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

BUILDING
CONSENT

Ashburton District Council
Approved Variation
200777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

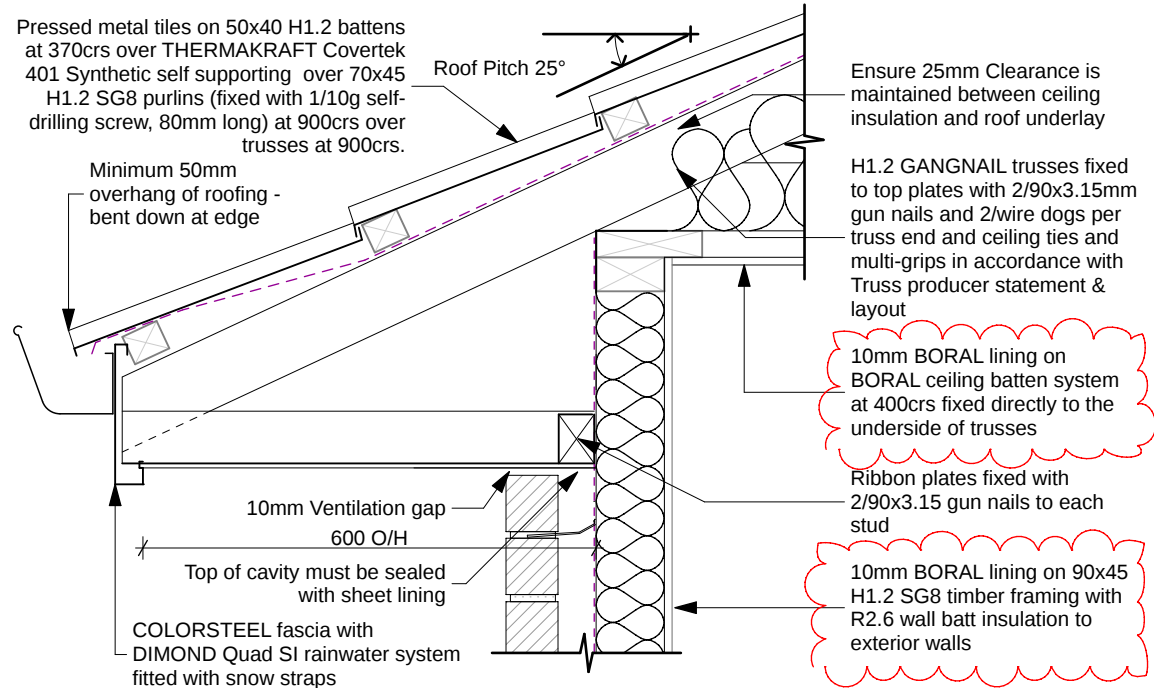
Sections

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 17 May 2022

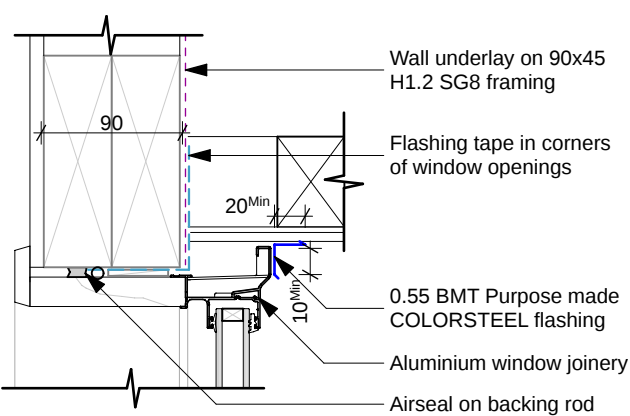
A12

G.J. Gardner. HOMES

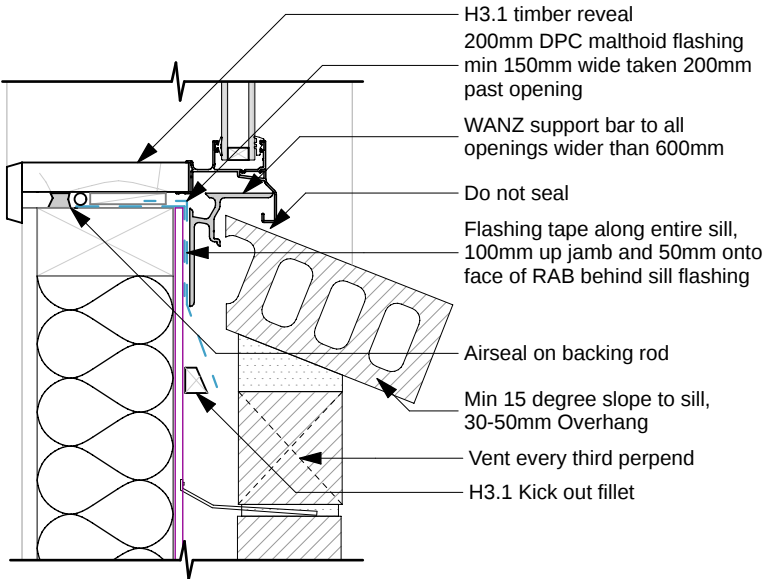
REVISION NO.
B



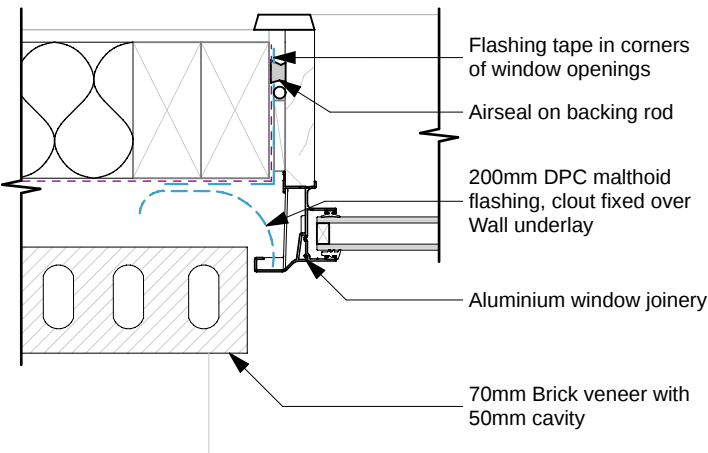
02 DETAIL | Soffit
SCALE 1:10 (A3)



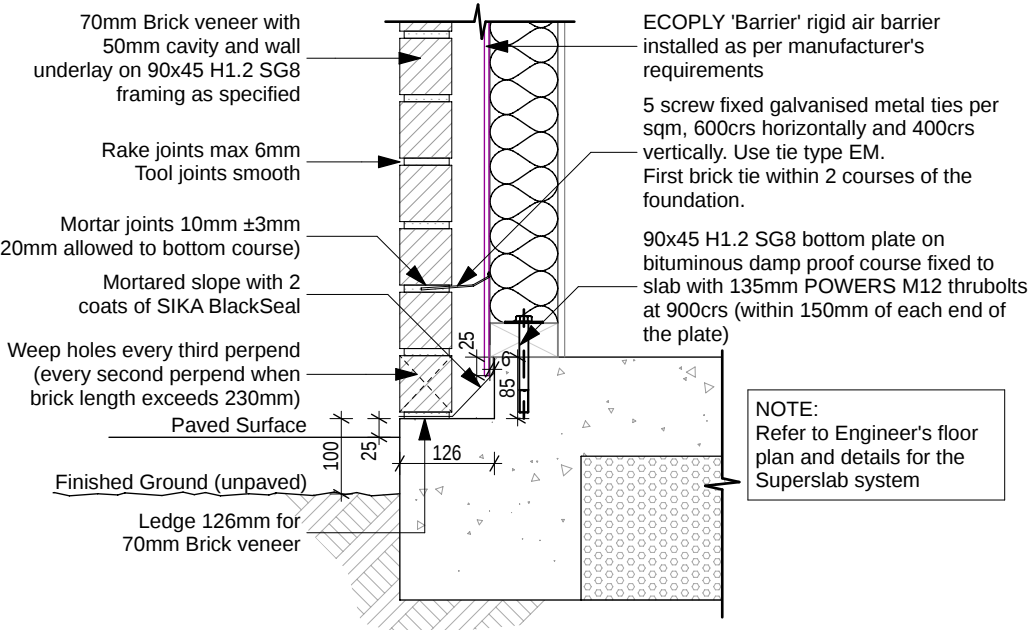
04 DETAIL | Window Head
SCALE 1:5 (A3)



05 DETAIL | Window Sill
SCALE 1:5 (A3)



06 DETAIL | Window Jamb
SCALE 1:5 (A3)



NOTE:
Refer to Engineer's floor plan and details for the Superslab system

Note
The following fixings are to be used at top and bottom plate junctions:
- Butt over a stud 6T10 TYLOK plate fully nailed
- Butt joint over solid blocking 6/100x 3.75 nails per end
- Halved joint over stud 6/75x3.15 minimum

03 DETAIL | Foundation
SCALE 1:10 (A3)

G.J. Gardner. HOMES

New Zealand's favourite home builders.

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents, and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

BUILDING
CONSENT

Ashburton District Council
Approved Variation
800777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

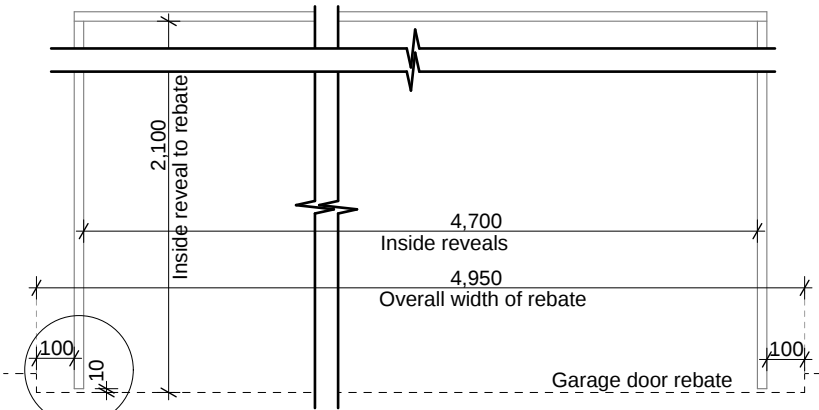
Details

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 17 May 2022

A14

G.J. Gardner. HOMES

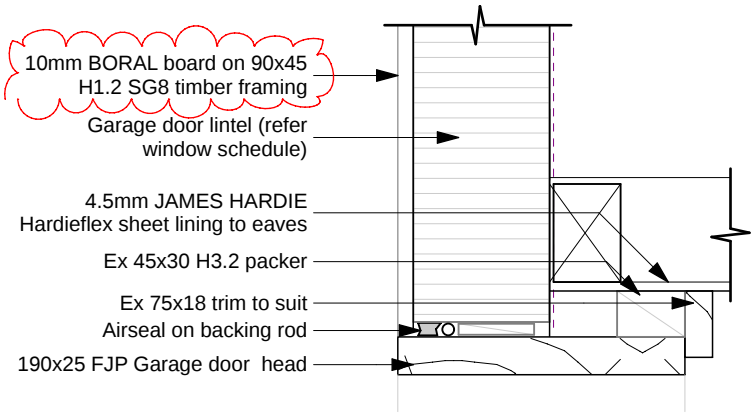
REVISION NO.
B



Refer Garage Door Sill Detail

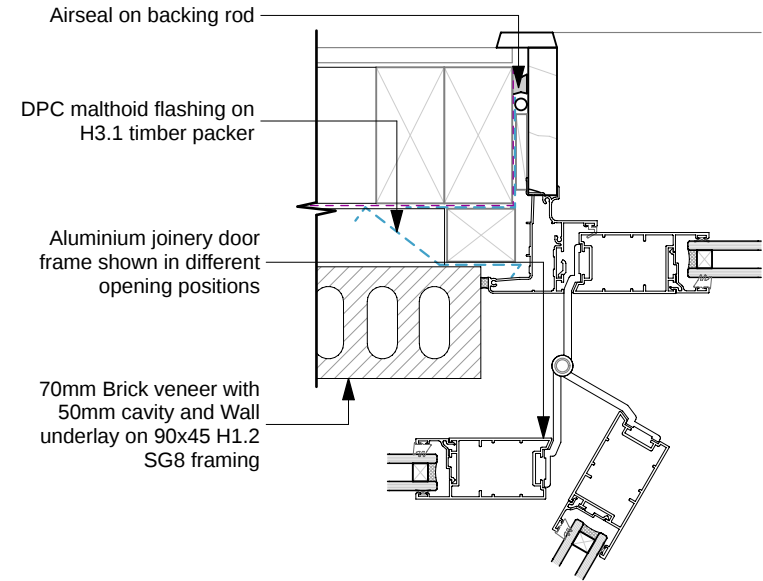
07 DETAIL | Garage Door

SCALE 1:20 (A3)

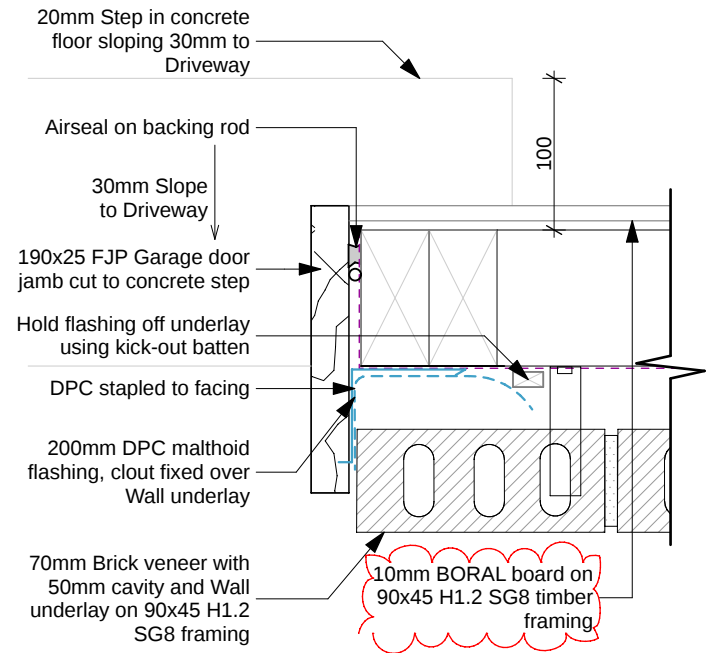


08 DETAIL | Garage Door Head

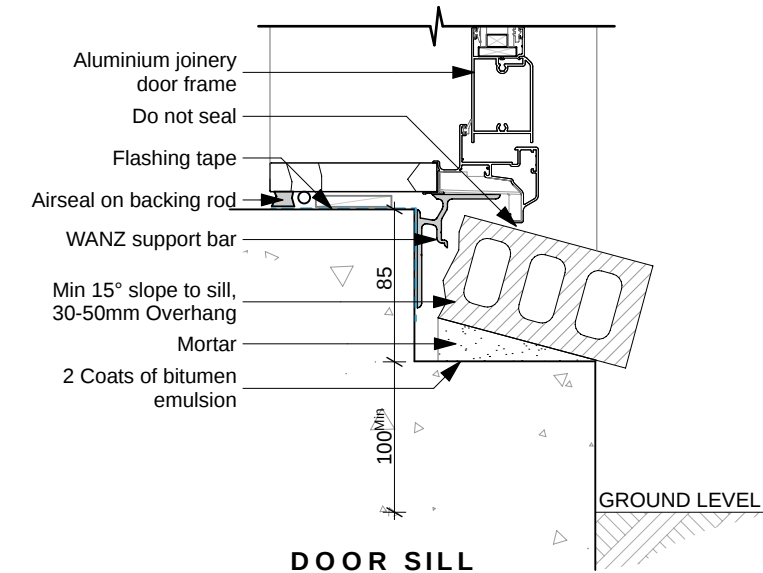
SCALE 1:5 (A3)



DOOR JAMB



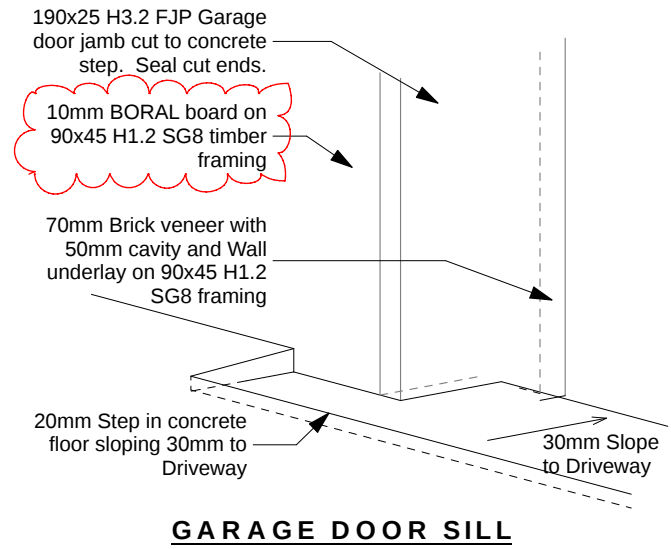
GARAGE DOOR JAMB



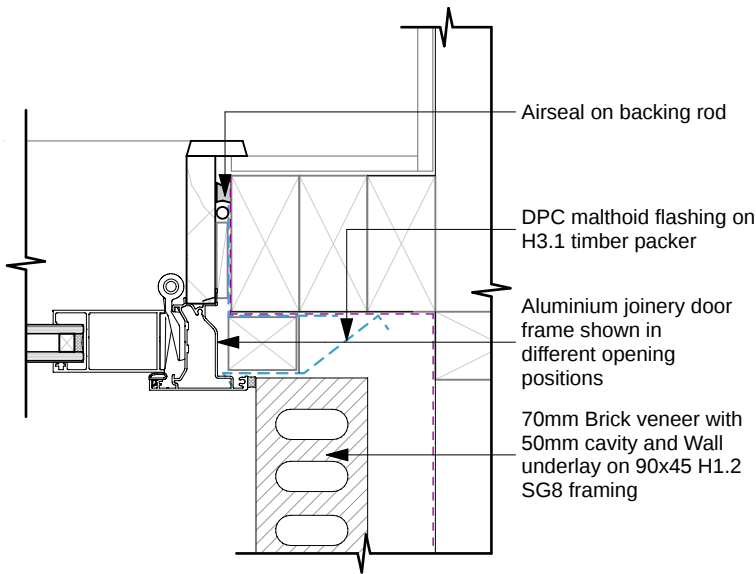
DOOR SILL

09 DETAIL | Doors

SCALE 1:5 (A3)



GARAGE DOOR SILL



10 DETAIL | Entry Door Jamb

SCALE 1:5 (A3)

G.J. Gardner. HOMES

New Zealand's favourite home builders.

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents , and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

**BUILDING
CONSENT**

Ashburton District Council
Approved Variation
800777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

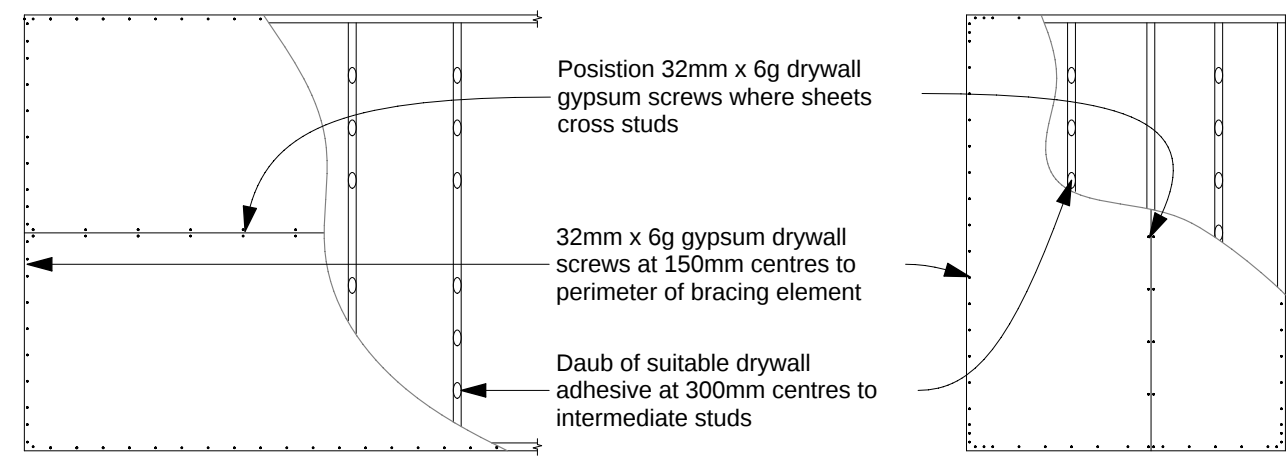
Details

JOB No: 860742
SHEET SIZE: A3
DRAWN: BS
PRINTED: 17 May 2022

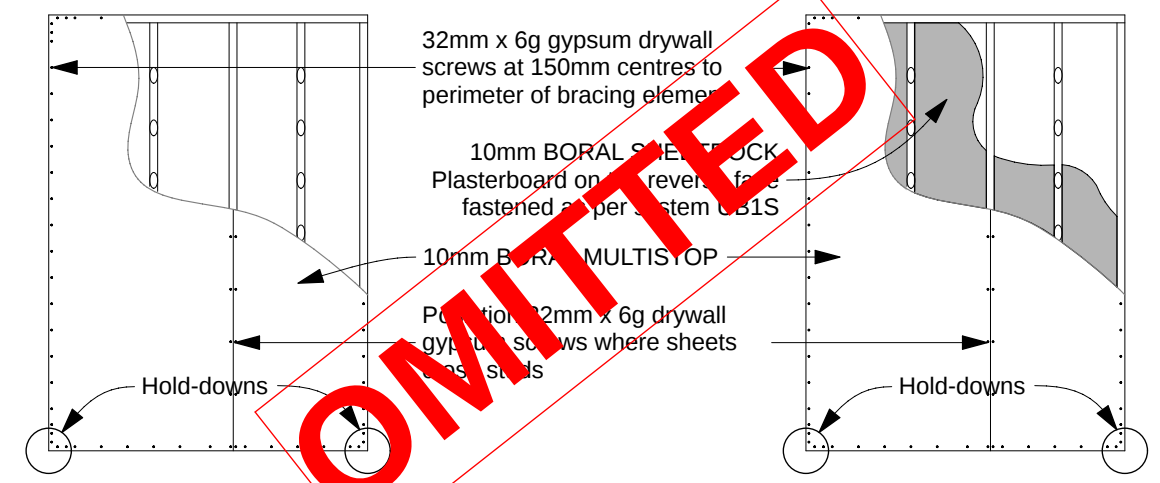
A15

G.J. Gardner. HOMES

REVISION NO.
A



Horizontal Fixing **UB1S** (10mm BORAL SHEETROCK - lined one side) **Vertical Fixing**
UB2S (10mm BORAL SHEETROCK - lined both sides)

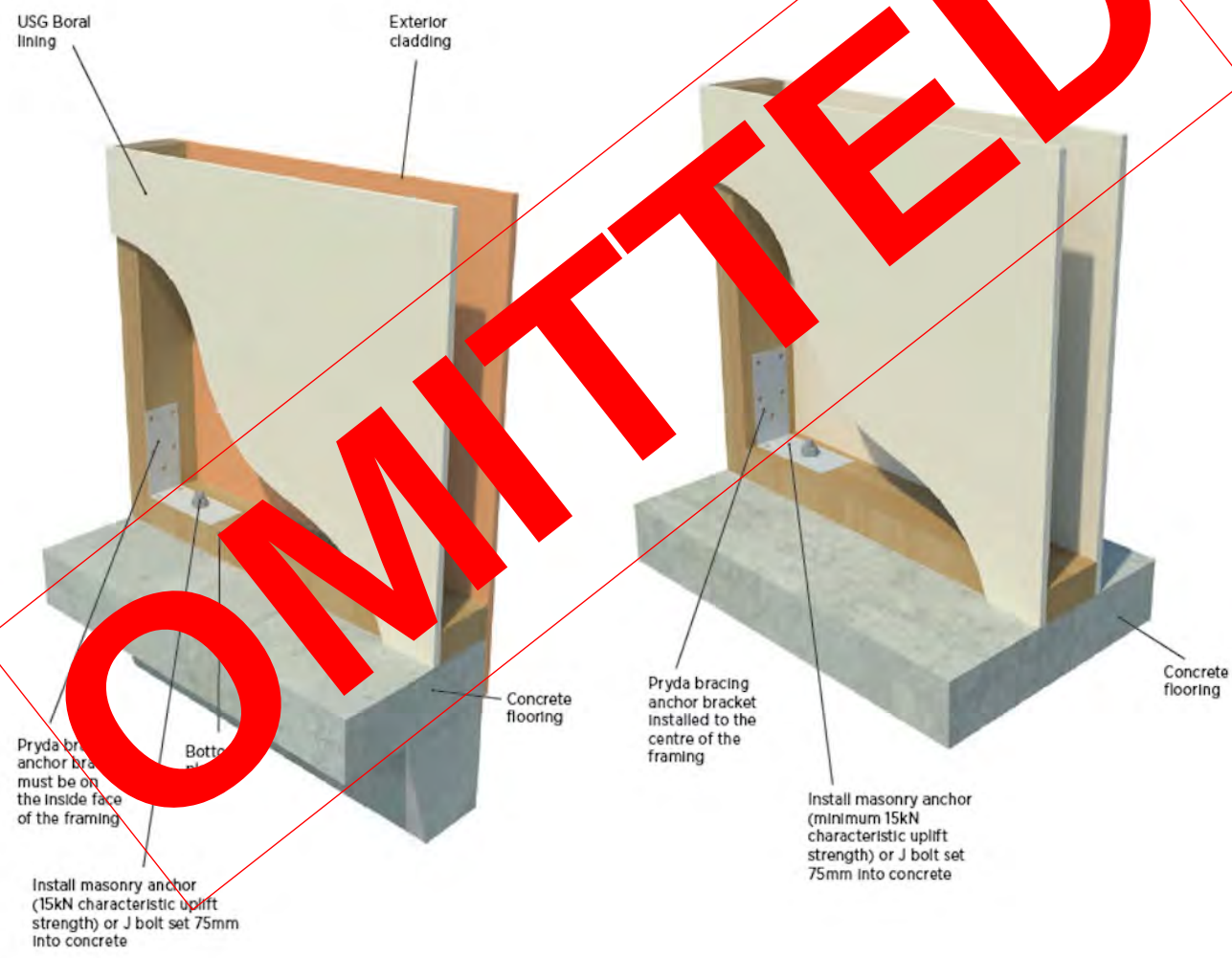


UB1M (10mm BORAL MULTISTOP - lined one side)
UBSM (10mm BORAL MULTISTOP lined one side - 10mm BORAL SHEETROCK to the other side)

DETAIL | Bracing Fixing

FIG. 3: EXTERNAL WALL ON CONCRETE FLOOR
Detailed with the Pryda bracing anchor bracket

FIG. 4: INTERNAL WALL ON CONCRETE FLOOR
Detailed with the Pryda bracing anchor bracket



DETAIL | Panel Hold-down

FIG. 3: UB1S CORNER FIXING DETAILS
Each corner of the bracing element

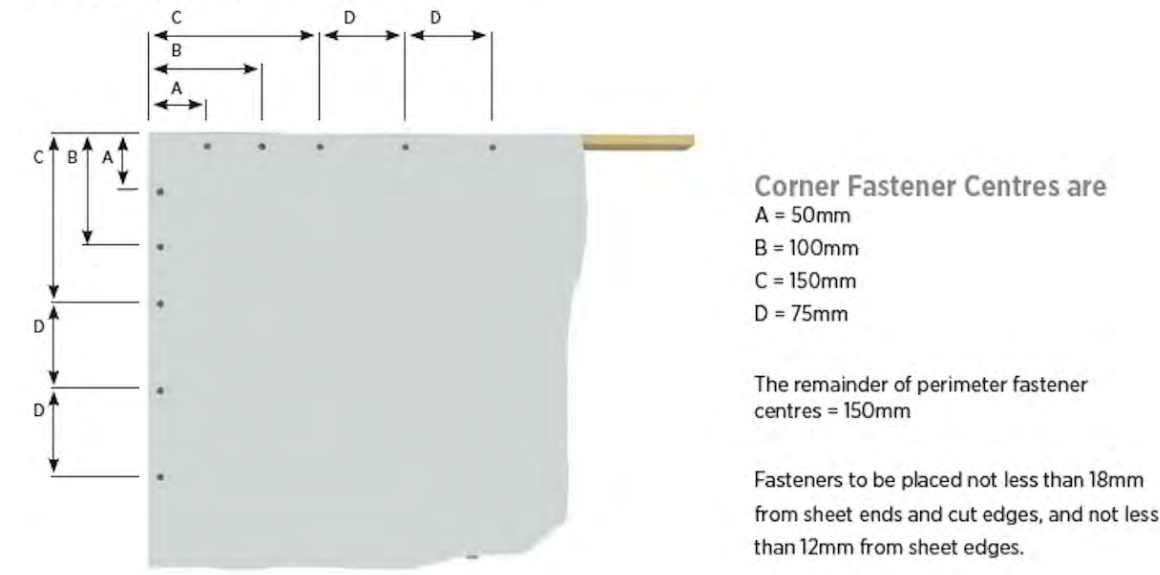
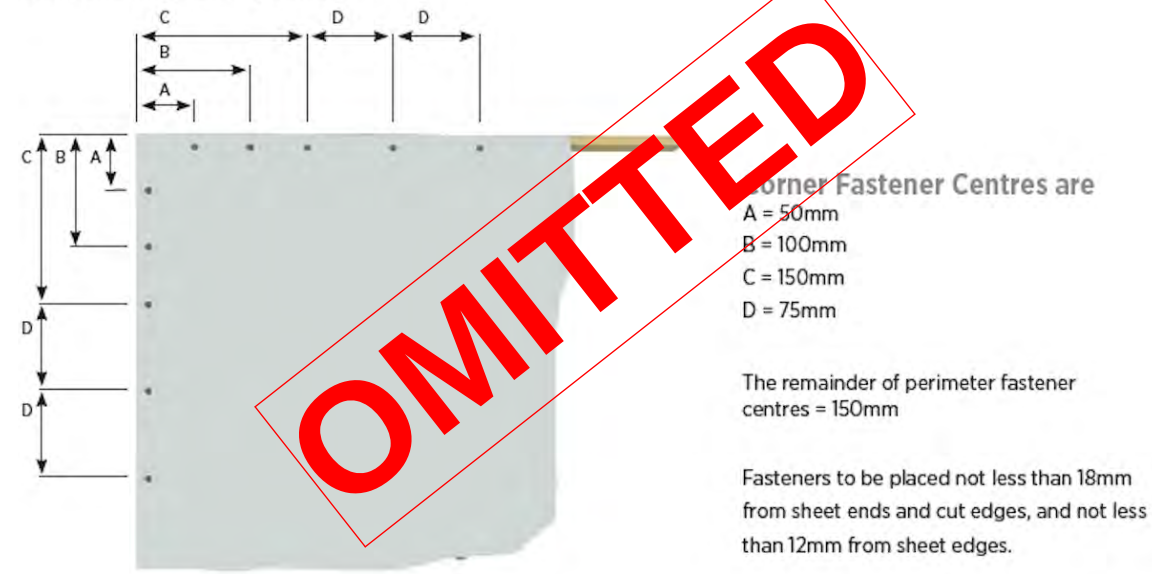


FIG. 3: UB1M CORNER FIXING DETAILS
Each corner of the bracing element



DETAIL | Corner Fixing Details

G.J. Gardner. HOMES
New Zealand's favourite home builders.

JNF Construction Ltd
Christchurch South Franchise for
G.J. Gardner Homes
811 Main South Road, Templeton, 8042
PO Box 42067, Tower Junction 8149
P 03 348 0516 / 03 341 5480
F 03 348 0517
www.gjgardner.co.nz

All Construction to comply with Local Authority requirements, NZ Building Code/ Approved Documents, and Means of Compliance, Inc NZS3604:2011

All Dimensions and levels are to be checked by contractor before commencement of work. Contractor to report any discrepancy.

**BUILDING
CONSENT**

Ashburton District Council
Approved Variation
200777/21.01
26/05/22

Coles Dwelling,
Lot 208 Camrose Estate,
Methven.

Copyright - This drawing remains the property of G.J. Gardner Homes and is provided for the use described above and may not be used or reproduced in whole or in part without written permission

Bracing Details		
JOB No:	860742	A17
SHEET SIZE:	A3	
DRAWN:	BS	
PRINTED:	24 May 2022	
G.J. Gardner. HOMES		REVISION NO. A